

CLERK'S OFFICE
APPROVED
Date: 7-16-02

Submitted by: Chair of the Assembly at
the Request of the Mayor
Prepared by: Planning Department
For Reading: July 16, 2002

Anchorage, Alaska
AO No. 2002- 106(S)

1 AN ORDINANCE APPROVING A REZONING FROM B-3 (GENERAL BUSINESS) TO
2 PLI-SL (PUBLIC LANDS AND INSTITUTIONS) FOR TRACTS G5 AND G6,
3 ATHENIAN VILLAGE, GENERALLY LOCATED AT THE NORTHWEST CORNER OF
4 TUDOR ROAD AND BRAGAW STREET (THE ERNIE TURNER CENTER AND
5 ADJACENT TRACT).

6
7 (University Area Community Council) (Planning and Zoning Commission case 2002-104)(tax Id. No. 008-024-05 and -06)

8
9 THE ANCHORAGE MUNICIPAL ASSEMBLY ORDAINS:

10
11 **Section 1.** The zoning map shall be amended by designating the following described
12 property as PLI-SL (Public Lands and Institutions with Special Limitations) zone:

13
14 Tracts G-5 and G-6, Athenian Village Subdivision

15
16 The zoning map amendment shall be subject to the following conditions and special
17 limitations:

- 18
19 1. Landscaping along the north lot line of Tract G-6 shall be buffer landscaping. Arterial
20 landscaping shall be installed along Tracts G-5 and G-6 lot lines adjacent to Bragaw
21 Street and Tudor Road. The west lot lines of Tracts G-5 and G-6 shall be planted with
22 visual enhancement landscaping. Landscaping for Tract G-6 lot lines shall be installed at
23 the time of building permit approval for Tract G-6. All other landscaping shall be per
24 AMC 21.40.020 PLI.
25
26 2. Submitting a current as built for Tract G-5 to Land Use Enforcement and the Planning
27 Department.
28
29 3. Estimating the maximum anticipated staffing for Tracts G-5 and G-6 and submitting a
30 current parking plan for Tract G-5.
31
32 4. Development of Tract G-6 will require a Planning and Zoning Commission public
33 hearing to amend the conditional use and site plan.
34
35 5. Access via Bragaw Street is preferred; access to Tudor Road requires a valid driveway
36 permit and approval from the Alaska Department of Transportation and Public Works,
37 and would be a shared driveway with Tract G-4.

6. All other conditions of the existing Conditional Use Permit remain in effect.

7. A Notice of Zoning Action and the Resolution shall be filed with the State of Alaska District Records office. Proof of such shall be submitted to the Department of Planning.

Special Limitations – the following uses are allowed:

Principal permitted uses

a. parks, parkways, greenbelts, land reserves, open spaces and related facilities

b. day care and 24 hour child care facilities

c. housing for the elderly

d. offices and centers for family self sufficiency service

Accessory uses

a. uses and structures clearly incidental and customarily accessory to permitted uses and structures

Conditional uses

a. quasi-institutional uses

b. health care facilities and health services


c. correctional community residential centers (CCRCs)

Section 2. The Director of the Planning Department shall change the zoning map accordingly.

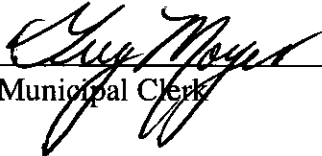
Section 3. This ordinance shall become effective within 10 days after the Director of the Planning Department has received the written consent of the owners of the property within the area described in Section 1 above to the special limitations contained herein. The rezone approval contained herein shall automatically expire and be null and void if the written consent is not received within 120 days after the date on which this ordinance is passed and approved. In the event no special limitations are contained herein, this ordinance is effective

1 immediately upon passage and approval. The Director of the Planning Department shall
2 change the zoning map accordingly.

3
4 PASSED AND APPROVED by the Anchorage Assembly this 16th day of
5 July 2002.

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7
8 
9 Chair

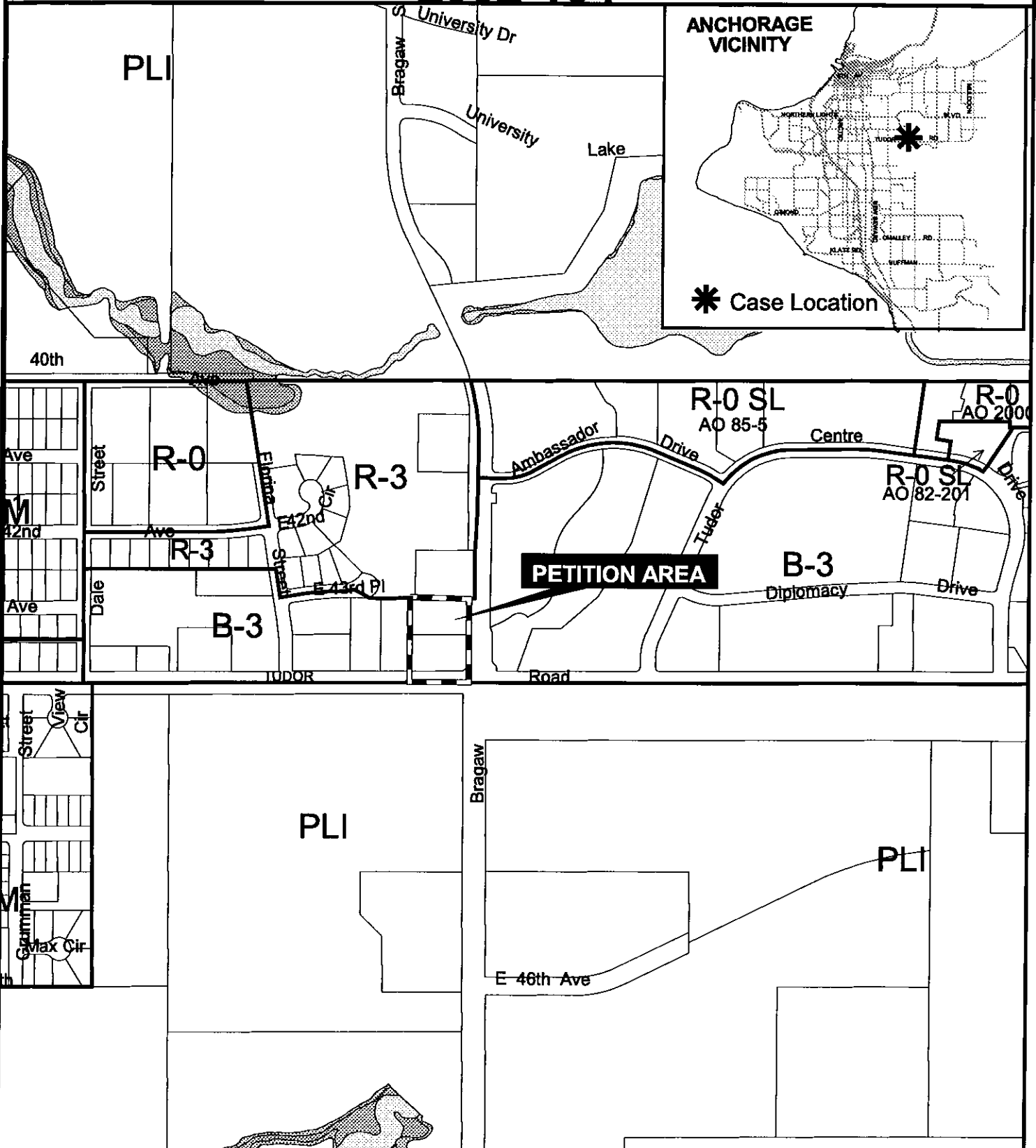
10
11 ATTEST:

12
13
14 
15
16 Municipal Clerk

17
18 (2002-104) (008-024-05, -06)

EXHIBIT - A

2002-104



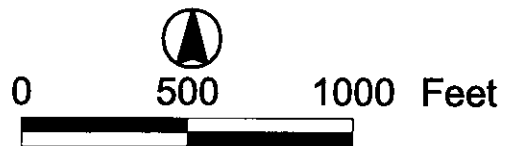
Municipality of Anchorage
Planning Department



Date: APRIL 11, 2002

Flood Limits

-  100 Year Floodplain
-  500 Year Floodplain
-  Floodway



MUNICIPALITY OF ANCHORAGE
Summary of Economic Effects - General Government

AO Number: 2002-106(S) Title: Zoning Amendment Rezoning of approximately 1.78 acres from B-3 to PLI-SL for tracts G-5 and G-6, Athenian Village Subdivision (the Ernie Turner Center).

Sponsor: Cook Inlet Tribal Council
Preparing Agency: Planning Department
Others Affected

CHANGES IN EXPENDITURES AND REVENUES (Thousands of Dollars)

	FY00	FY01	FY02	FY03	FY04
Operating Expenditures					
1000 Personal Services					
2000 Supplies					
3000 Other Services					
4000 Debt Services					
5000 Capital Outlay					
TOTAL DIRECT COSTS					
6000 IGCs					
FUNCTION COST:					
REVENUES:					
CAPITAL:					
POSITIONS: FT/PT and Temp.					

PUBLIC SECTOR ECONOMIC EFFECTS:

There is no significant affect upon the public sector.

PRIVATE SECTOR ECONOMIC EFFECTS:

There is no significant economic impact on the private sector.

Prepared by: Jerry Weaver Jr.,
Manager Zoning & Platting

Telephone: 343-4215

Validated by
OMB:

Date: 7/11/02

Approved By:

Cheryl Frazer
William R. Smith
Director, Preparing Agency

Date: 7-2-02



**MUNICIPALITY OF ANCHORAGE
ASSEMBLY MEMORANDUM**

No. AM 660-2002

Meeting Date: JULY 16, 2002

From: Mayor

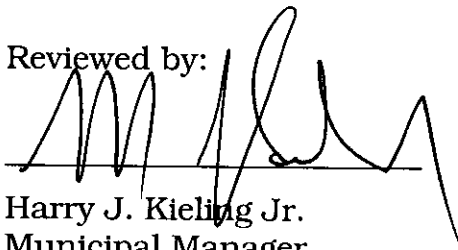
Subject: AO 2002- 106(S) Planning and Zoning Commission recommendation on a rezoning from B-3 to PLI-SL for tracts G-5 and G-6, Athenian Village (Ernie Turner Center tract G-5 and adjacent lot, tract G-6).

1 Cook Inlet Tribal Council submitted an application for rezoning to change
2 the property from B-3 to PLI. On June 3, 2002, the Planning and Zoning
3 Commission recommended approval of the rezoning.


4 The Ernie Turner Center operates a Correctional Community Residential
5 Center (CCRC). In the B-3 zoning district, a CCRC requires a conditional
6 use permit and the conditional use limits the clientele to misdemeanor
7 DUI offenders. A rezone to PLI will still require a conditional use permit for
8 a CCRC, but the clientele will be allowed to include third time DUI
9 offenders who are classified by the State of Alaska as felons. Clients are
10 admitted to the Center only after completing a medically supervised detox
11 program. The Center will continue the current practice of not accepting
12 sex offenders or violent offenders.

13 At the present time, the Center is not proposing expansion into the
14 adjacent lot, Tract G-6. At such time as expansion does take place, the
15 applicant will be required to submit for an amended conditional use and
16 public hearing site plan review. The applicant has agreed to the proposed
17 conditions and special limitations.

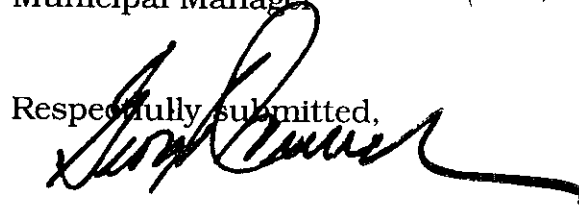
Reviewed by:


Harry J. Kieling Jr.
Municipal Manager

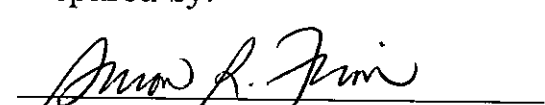
Reviewed by:


Craig E. Campbell, Executive
Director Planning Development, and
Public Works

Respectfully submitted,


George P. Wuerch
Mayor

Prepared by:


Susan R. Fison, Director
Department of Planning

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MUNICIPALITY OF ANCHORAGE PLANNING AND ZONING COMMISSION RESOLUTION NO. 2002-043

A RESOLUTION APPROVING A REZONING FROM B-3 (GENERAL BUSINESS) TO PLI SL (PUBLIC LANDS AND INSTITUTIONS) FOR TRACTS G5 AND G6, ATHENIAN VILLAGE, GENERALLY LOCATED AT THE NORTHWEST CORNER OF TUDOR ROAD AND BRAGAW STREET (THE ERNIE TURNER CENTER AND ADJACENT TRACT).

(Case 2002-104, Tax I.D. No. 008-024-05 and -06)

WHEREAS, a request has been received from Cook Inlet Tribal Council to rezone 1.78 acres of land from B-3 to PLI SL for tracts G5 and G6 Athenian Village, generally located at the northwest corner of Tudor Road and Bragaw Street, and

WHEREAS, notices were published, posted and 35 public hearing notices were mailed and a public hearing was held on June 3, 2002.

NOW, THEREFORE, BE IT RESOLVED, by the Municipal Planning and Zoning Commission that:

- A. The Commission makes the following findings of fact:
1. The petition site is a 1.78 acre parcel consisting of two tracts.
 2. The Anchorage 2020 plan designates the property as re-development and mixed use. The area is generally developed as commercial, major medical and institutional. The proposal is consistent with the comprehensive plan and compatible with existing zoning districts and uses.
 3. The applicant wishes to expand the clientele served at the Center. The Conditional Uses standards for Correctional Community Residential Centers (CCRC's) limit operations in a B-3 zone to *misdemeanor* DUI offenders. The Center wishes to add *third time* DUI offenders, classified by the State as *felons*. The PLI zone would allow treatment of clients classed as felons. The Center will continue its current standards of accepting only applicants who have completed a medically supervised detox program. The Center will also continue its practice of not accepting sex offenders or violent offenders.
 4. The applicant has agreed with the proposed Special Limitations and conditions.
- B. The Commission recommends the above rezoning be APPROVED by the Anchorage Assembly subject to the following special limitations and conditions:
1. Landscaping along the north lot line of tract G6 shall be buffer landscaping. Arterial landscaping shall be installed along tract G5 and G6 lot lines adjacent to Bragaw Street and Tudor Road. West lot lines of tracts G5 and G6 shall be planted with visual enhancement landscaping. Landscaping along tract G6 lot lines shall be put in to effect at the time of permit application for tract G6. All other landscape requirements shall be per AMC 21.40.020 PLI.

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2. Submit a current asbuilt for tract G5 to Land Use Enforcement and the Planning Department.
3. Estimate the maximum anticipated staffing for tracts G5 and G6 and submit a current parking plan for tract G5.
4. Development of tract G6 will require a Planning and Zoning Commission public hearing to amend the conditional use and site plan.
5. Access via Bragaw Street is preferred; driveway access to Tudor Road requires a valid driveway permit and approval of ADOT-PW and would be via shared driveway with tract G4.
6. All other conditions of the existing Conditional Use permit remain in effect.
7. A Notice of Zoning Action and the Resolution shall be filed with the State of Alaska District Recorder's office. Proof of such shall be submitted to the Planning Department.

SPECIAL LIMITATIONS

The following uses are allowed:

Principal permitted uses

- a. parks, parkways, greenbelts, land reserves open spaces and related facilities
- b. day care and 24 hour child care facilities
- c. housing for the elderly
- d. offices and centers for family self sufficiency service

Accessory uses

- a. Uses and structures clearly incidental and customarily accessory to permitted uses and structures.

Conditional uses

- a. quasi-institutional uses
- b. health care facilities and health services
- c. Correctional Community Residential Centers (CCRC)

PASSED AND APPROVED by the Municipal Planning and Zoning Commission on the 20th day of May, 2002.

Susan R. Fison
Secretary

Toni Jones
Chair

(02-104)
(008-024-05, -06)

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2. 2002-104

Cook Inlet Housing. A request to rezone approximately 1.78 acres from B-3 (General Business) to PLI (Public Lands & Institutions). Athenian Village Subdivision, Tracts G5 and G6. Located at 4330 Bragaw Street.

Staff member AL BARRETT described this request to rezone two parcels of land from B-3 to PLI to allow the Ernie Turner Center potential expansion for the type of clientele being served. A total of 35 public hearing notices were mailed, no comments were received from the general public, and one item was returned as undeliverable. The Community Council submitted a letter in support of the proposal with a vote of 11:2. The Ernie Turner Center is currently limited to serving misdemeanor or non-felony clients under the B-3 district. Under Alaska law, a third-time offender is classed as a felon and, as such, is excluded from being served by the Center. A rezoning to PLI would allow the Ernie Turner Center to serve that group of people. Staff recommended favorably on this request. This area is designated in *Anchorage 2020* as a redevelopment, mixed use, and major employment center area. The existing uses in the area are generally large scale industrial, storage, institutional, and governmental, so this use is not inconsistent.

COMMISSIONER COFFEY noted the Staff analysis states this is an intensification of use, however, he understood the reason for the request was to allow a third-time offender to be served at the facility. He did not understand how that would be considered an intensification of use. MR. BARRETT explained the intensification is because the Center would eventually increase in size into the northern of the two lots.

COMMISSIONER PENNEY referred to condition of approval 3, noting that he understood parking is driven by square footage, not staffing level. MR. BARRETT stated that recommendation arose from land Code Enforcement. He was aware that parking is full at the site and Code Enforcement asked that a calculation be made so they might verify compliance with AMC 21.45.080.

The public hearing was opened.

TIM POTTER, representing the petitioner, introduced Laurie Herman with Laurie Herman & Associates who had been working with Cook Inlet Housing and Ernie Turner Center on this project and with the surrounding property owners. LAURIE HERMAN introduced Nancy Bushy, the director of the Ernie Turner Center, who was available to answer any program-related questions from the Commission. The Center is a State-licensed alcohol and drug treatment facility that first established in Mt. View in 1987 and moved to the current location in 1997. The Center provides residential and out-patient treatment to adults and serves a broad cross-section of Alaskans. There is an 8-week residential component comprised of 32 beds. There is also a day treatment program that

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affords patients the experience of a residential program while still living at home. The newest program is a 9-bed residential facility inside the 32-bed facility that is specifically designated for elders 55 years of age and older. She indicated that 80% of the Center's patients complete recovery. She noted there is a significant population being served and those are the third time DWI offender. The current B-3 zoning does not allow the Center to treat these patients. The Center does not and would not accept sex offenders or violent offenders, which is ensured through a screening process, and precluded by funding through the Indian Health Service. She stated the rezoning would be transparent to the community. There would be no new staff, no change to the parking, and no change in the building structure. The Center has had no incidents since being established in 1997.

COMMISSIONER BROWN asked whether, if this facility was sold in the future, could another program accept violent and/or sex offenders without amending the conditional use. MR. POTTER replied this would not be possible. He believed this restriction is a part of the conditional use, which runs with the land. Any modification of the type of individual to be accepted into a program would need to be reviewed and approved by the Commission. MR. BARRETT concurred with this comment.

COMMISSIONER COFFEY asked where it is stated that third-time DWI offenders cannot be served at this program. MR. POTTER explained the B-3 zone does not allow an offender other than a misdemeanor to be accepted into a program. COMMISSIONER COFFEY asked if both lots are zoned B-3 at this time. MR. POTTER replied in the affirmative and noted that anything to be developed on that lot would require Commission review and approval as a conditional use.

COMMISSIONER PENNEY asked if the petitioner objected to any of the conditions. MR. POTTER had no objection to any conditions. He understood the reason for condition 3.

COMMISSIONER COFFEY asked if the additional 10-foot development setback should be dealt with in this approval. MR. POTTER indicated that, when the petitioner submits for a building permit, the development would be governed by the Official Streets and Highways Plan and the development setback would be respected.

The public hearing was closed.

COMMISSIONER KLINKNER moved for approval of a rezoning to PLI, subject to the 7 Staff conditions and the special limitations recommended by Staff.

COMMISSIONER PENNEY seconded.

COMMISSIONER KLINKNER supported his motion, finding that the Staff analysis reflects that this rezoning is consistent with the standards in Title 21 and the Comprehensive Plan. Furthermore, the rezoning accommodates a valuable public service

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in the community. He felt the conditions were appropriate to accommodate the use, while protecting surrounding properties.

CHAIR JONES added that she believed there were economies to be gained by allowing expansion of a facility or the nearby location of another facility. She also felt there was significant value in having this type of facility very near major medical facilities.

COMMISSIONER KLEIN noted this facility is also located across the street from the primary police station.

AYE: Adams, Klinkner, Penney, Brown, Jones, Coffey, Klein, Starr

NAY: None

PASSED

PLANNING DEPARTMENT
PLANNING STAFF ANALYSIS
REZONING

DATE: June 3, 2002

CASE NO.: 2002-104

APPLICANT: Cook Inlet Tribal Council, Inc.; Ernie Turner Center (ETC)

PETITIONER'S REPRESENTATIVE: Dowl Engineers, Tim Potter

REQUEST: Rezoning from B-3, general business district per AO 82-212 to PLI SL, public lands and institutions district.

LOCATION: Tracts G5 and G6, Athenian Village

SITE ADDRESS: 4330 Bragaw Street, generally located at the northwest corner of Tudor Road and Bragaw Street.

COMMUNITY COUNCIL: University Area

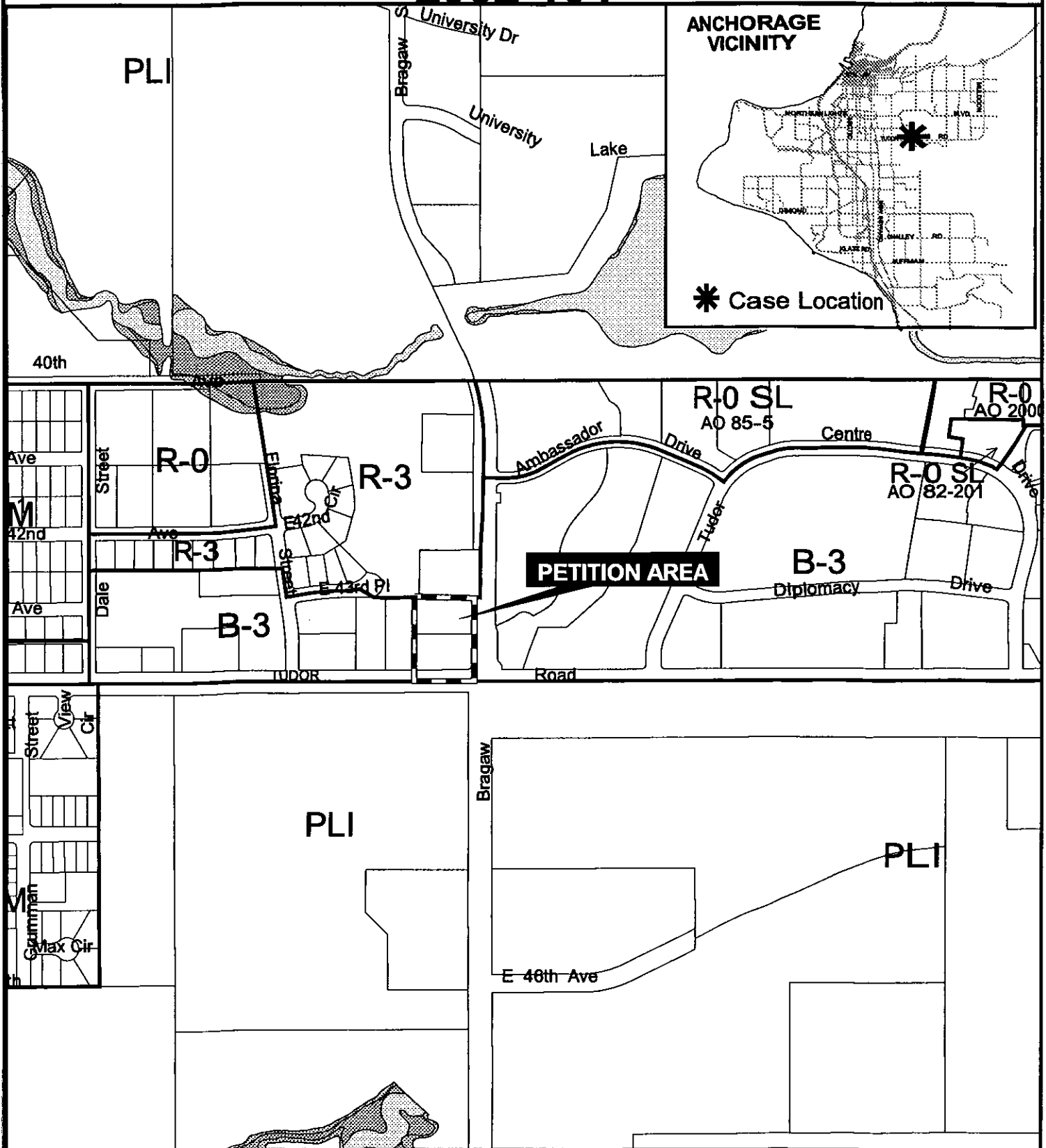
TAX NUMBER: 008-024-05 and -06

ATTACHMENTS:

1. Zoning & Location Maps
2. Departmental Comments
3. Application
4. Posting Affidavit
5. Historical Information

RECOMMENDATION SUMMARY: **APPROVAL.** The proposed rezoning meets the general standards of the Comprehensive Plan.

REZONING 2002-104



Municipality of Anchorage
Planning Department



Date: APRIL 11, 2002

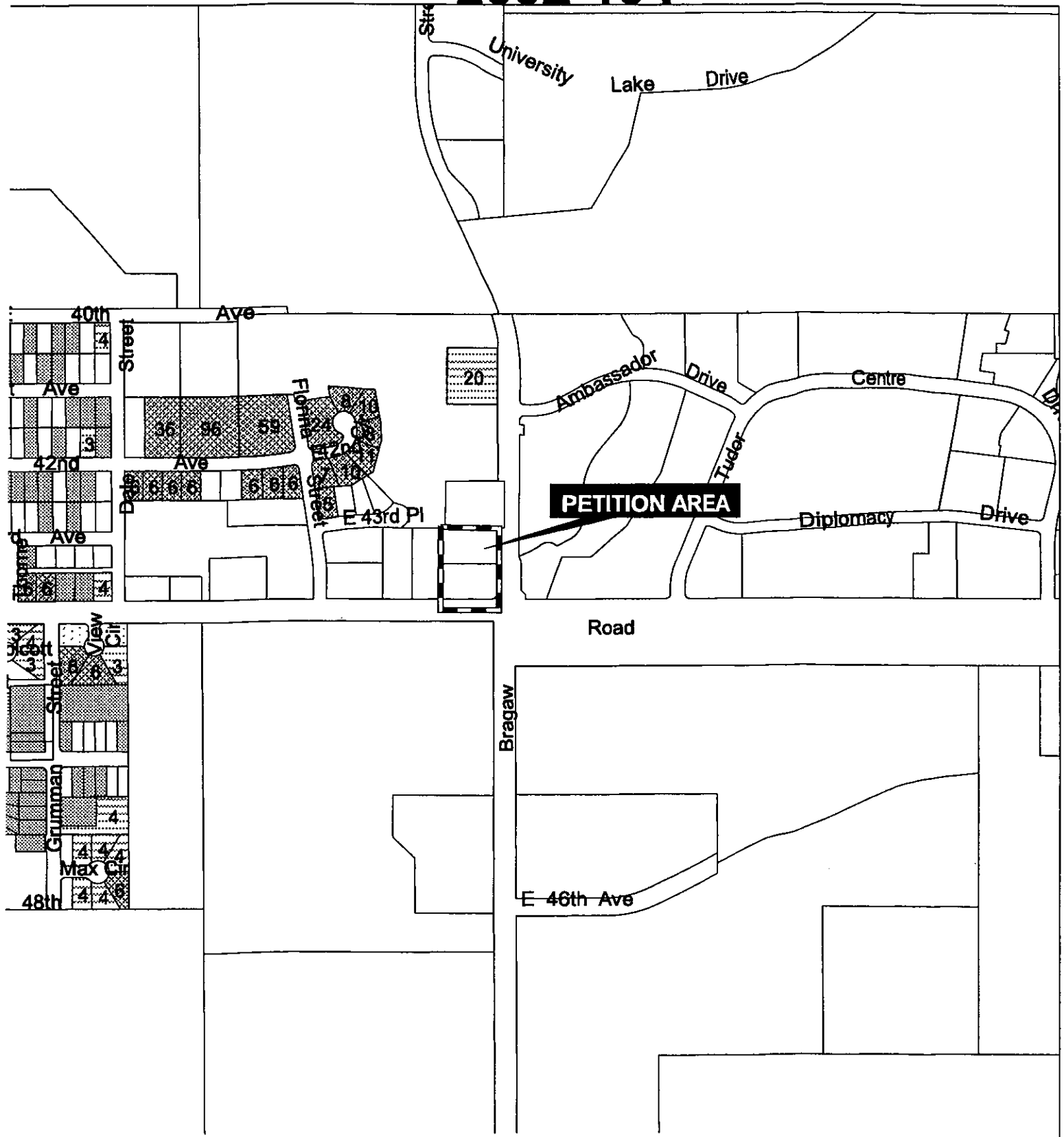
Flood Limits

-  100 Year Floodplain
-  500 Year Floodplain
-  Floodway



07

REZONING 2002-104



Municipality of Anchorage
Planning Department



Date: APRIL 11, 2002

- Single Family Detached
- Single Family Attached, Duplex
- Mobile home
- Multi - Family 3 & 4 Plex
- Multi - Family 5+



0 500 1000 Feet

Source: Housing Stock based on 1998 Land Use Inventory
Planning Department, MOA

08

SITE:

Acres: 1.78 acres

Vegetation: Tract G5 is developed and landscaped; tract G6 is undeveloped and contains natural vegetation

Zoning: B-3

Topography: Level

Existing Use: Tract G5 is the Ernie Turner Center; tract G6 is vacant.

Soils: Public water and sewer available.

COMPREHENSIVE PLAN:

Classification: The property is designated re-development/mixed use and is on the boundary of a major employment center.

Density: Medium to high

SURROUNDING AREA

	<u>NORTH</u>	<u>EAST</u>	<u>SOUTH</u>	<u>WEST</u>
Zoning:	R-3	B-3	PLI	B-3
Land Use:	Gas company warehouse	Vacant, campus of Native Med Center	Muni & school district	Vacant lot, car wash, office & Commercial

DEFINITIONS

Correctional Community Residential Center (CCRC) - a community residential facility other than a correctional institution, for the short term or temporary detention of prisoners in transition from a correctional institution, performing restitution, or undergoing rehabilitation and/or recovery from a legal infirmity except prisoners who pose a threat or danger to the public for violent or sexual misconduct without imprisonment or physical confinement under guard or 24 hour physical supervision.

Quasi-institutional house (QI) - a residential facility located in a structure or residence or any living unit thereof designed, used or intended for use as a

human habitation, the principal use or goal of which is to serve as a place for persons seeking rehabilitation or recovery from any physical, mental, or emotional infirmity, or any combination thereof, in a family setting as part of a group rehabilitation and/or recovery program utilizing counseling, self-help or other treatment or assistance.

Editor's note: The definition of "quasi-institutional house" was re-written by AO No. 95-68(S-1) effective August 8, 1995. Prior to August 8, 1995 the definition of "quasi-institutional house" read as follows and still governs those quasi-institutional houses lawfully established, permitted and continuing as nonconforming (grandfathered) uses subject to Chapter 21.55:

"Quasi-institutional house" means a residential facility located in a structure or residence or any living unit thereof designed, used or intended for use as a human habitation, the principal use or goal of which is to serve as a place for persons seeking rehabilitation or recovery from any physical, mental, emotional or legal infirmity, or any combination thereof, in a family setting as part of a group rehabilitation and/or recovery program utilizing counseling, self-health or other treatment or assistance. A quasi-institutional house that establishes or maintains a contractual relationship with an adult corrections agency to accept persons in correctional custody and for which the contractual relationship did not exist at the same location and at the same or higher number of beds before June 2, 1992, shall not:

- a. Be located in a residential use district; and
- b. House residents convicted of a felony as set forth in as 11.41., offenses against the person, in this state or of an offense with the same or substantially similar elements in another jurisdiction, unless that person has successfully completed all conditions of parole and probation and is no longer under supervision of any federal, state or local authority.

PROPERTY HISTORY

8-70	Plat	Athenian Village tract G
12-70	Rezone	B-1
3-83	Plat	Athenian Village tracts G1 to G6
9-82	Rezone	B-3 DENIED by PnZ; APPROVED by Assembly
12-95	CU	CCRC and QI (PnZ case 95-204)
01-02	CU Minor Amend.	Change of CCRC program (PnZ case 02-037)

The conditional use permit from 1995 established ETC as a Correctional Community Residential Center (CCRC) for misdemeanor offenders and Quasi-Institutional (QI) substance abuse program. The minor amendment in 2002 expanded the client length of stay from 30 days to 60 days. There were no other substantive changes. See site description and proposal below, for details.

Applicable Zoning Regulations:

TABLE 1 SUMMARY COMPARISON OF B-3 and B-4		
	B-3 District AMC 21.40.180	PLI District AMC 21.40.020
Intent:	The B-3 district is intended for general commercial uses in areas exposed to heavy automobile traffic. The district is specifically intended for areas at or surrounding major arterial intersections where personal and administrative services, convenience and shopping goods, and automobile related services are desirable and appropriate land uses.	The PLI district is intended to include areas of significant public open space, major public and quasi-public institutional uses and activities and land for which a specific use or activity is not yet identified.
Permitted Uses and permitted accessory uses	Business, business services, professional services and personal services, including incidental manufacturing or processing of goods for sale at retail or wholesale on the premises, offices, multi-family residential at a density of at least 12 du/ac, private clubs and lodges, vocational or trade schools, family residential care, day care, and 24 hour child care facilities, churches, public, private and parochial academic schools, business colleges and universities, unlicensed night clubs per 21.45,245. Uses and structures customarily accessory and clearly incidental to permitted principal uses and structures, antennas without tower structures.	Parks, greenbelts, open space and related facilities, public recreation facilities including golf courses/ equestrian facilities, zoos, museums, libraries, educational institutions, cemeteries, police and fire stations, convents, monasteries, governmental office buildings, churches, day care and 24 hour child care, public greenhouses, housing for the elderly, crematoriums, uses and structures necessary or desirable to permitted principal uses, antennas without tower structures type 1, 2, 3 and type 4 as specified in the supplementary district regulations.

TABLE 1
SUMMARY COMPARISON OF B-3 and B-4

	B-3 District AMC 21.40.180	PLI District AMC 21.40.020
Conditional Uses:	Utility substation, heliports, PUD's, quasi-institutional houses, liquor stores, restaurants, cafes, CCRC's, snow disposal.	Natural resource extraction on tracts of not less than five acres, commercial recreation, vocational schools/trade schools, correctional institutions, quasi institutional uses, governmental service shops and storage yards, off street parking, landfills, animal control shelters, heliports, snow disposal, health care facilities, homeless and transient shelters, hospitals, CCRC's.
Prohibited Uses	Outdoor storage or display of any junk, scrap, salvaged or second hand materials, or any salvage yard or salvage operation, any use which causes or may reasonably be expected to cause excessive noise, vibration, smoke, dust, etc. Storage or use of mobile homes. Truck and heavy equipment repair, service and storage. Open storage of gravel, feed, peat, manure, etc.	
Height limitation:	Unrestricted (except 21.65.050 FAA requirements)	Unrestricted (except adjacent to residential use district if exceeding 35' then an additional 1.5' of yard required for each 1 foot in excess of 35')
Minimum lot size:	Residential uses per 21.40.060.F (the R-4 district). All other including residential when associated with other uses: width - 50 feet, area - 6,000 square feet	Width - 100 feet Area - 15,000 square feet
Yards:		
Front	10 feet	25 feet or the requirement of the abutting district, whichever is greater
Side	10 feet adjacent to residential district, otherwise none	25 feet or the requirement of the abutting district,

TABLE 1 SUMMARY COMPARISON OF B-3 and B-4		
	B-3 District AMC 21.40.180	PLI District AMC 21.40.020
	provided that there shall be a wall on the lot line or a setback of 10 feet	whichever is greater
Rear	15 feet adjacent to residential otherwise none	30 feet or the requirement of the abutting district, whichever is greater
Lot Coverage:	Residential uses per 21.40.060.H, unrestricted for other permitted uses	30% or the requirement of the adjacent district, whichever is less
Landscaping	Buffer adjoining residential, Perimeter for vehicle circulation and parking areas, Arterial along collector and arterial streets, Visual enhancement for all areas not devoted to buildings, structures, drives, walks, off-street parking facilities, usable yard area or other authorized installations.	Visual enhancement for all areas not devoted to buildings, structures, drives, walks, off-street parking facilities, usable yard area or other authorized installations.

SITE DESCRIPTION AND PROPOSAL:

The two subject lots, tract 5 and tract 6, are located at the northwest corner of the intersection of Tudor and Bragaw. The Ernie Turner Center is on tract 5, tract 6 is vacant. The property to the east is zoned B-3, vacant, and part of the Native Medical Center campus. To the south is PLI, Municipal and School district property. North is R-3, owned by Alaska Pipeline, in use as a warehouse. West is B-3, currently vacant.

ETC operates a 32 bed CCRC on tract G-5 under a conditional use permit obtained in 1995. The program administers to clients with drug and alcohol problems in a residential setting. Individuals are screened to exclude sex offenders and violent offenders and the individuals are accepted at ETC only after completing a medically supervised detox program. The ETC program is an eight week program which includes counseling, coping skills, education and vocational rehabilitation.

The current CCRC conditional use is limited to misdemeanor offenders as the CU is located in the B-3 district. This rezoning to PLI would make ETC eligible to re-apply for a new CU which would then allow clients other than misdemeanor offenders (i.e., felons). ETC short term plans include

expanding their treatment role to include third time DUI offenders (felons). Once the rezoning to PLI is in place, ETC plans to apply for a new CU. The new CU will allow treatment of felons and will also extend the QI and CCRC uses to tract 6. CIRI, the parent organization, owns tract 6 which is adjacent to ETC to the north. This PLI rezoning application includes tract 6. If the rezoning to PLI is approved, ETC will apply for a new CU for both tracts 5 and 6. In the mean time, the existing CU will remain in effect for tract 5. At this time a physical expansion of ETC into tract 6 is not contemplated.

When tract 6 is developed, it will require an amendment to the CU and a site plan for tracts 5 and 6 will be required. The applications will be reviewed as a public hearing and require Planning and Zoning Commission approval.

If the rezoning to PLI and new conditional use are approved, the treatment program will continue its current standard of not accepting sex offenders or violent offenders.

FINDINGS:

21.20.090 Standards for Approval – Zoning map Amendments.

A. Conformance to the Comprehensive Plan.

The standard is met.

The area is shown in Anchorage 2020 as redevelopment/mixed use and major employment center. Major employment centers are indicated to be the most intensely developed areas of the Muni. They serve as focal points for high concentrations of office employment together with supporting retail and commercial uses. The redevelopment/mixed use areas are always near major employment centers and are intended for redevelopment of underutilized parcels or for infill of vacant parcels.

General Land Use Policy 5 - rezones shall be compatible in scale with adjacent uses and consistent with the goals and policies of Anchorage 2020.

Housing Policy 61- promote the availability of supportive housing opportunities for the homeless and persons with special needs.

Housing Policy 62 – distribute ... residential facilities that are supported by governmental agencies and operated for health, social services or correctional facilities.

Discussion:

The area around the petition site is generally developed as commercial, medical, institutional and other public uses. The Bragaw-Tudor intersection has grown to a major access point for UAA, the Native Medical Center, Police station, bus barn and Community Development Department. There is no gain or loss of residential density due to this application because the use as a residential treatment center will continue. The use continues to be appropriate and in conformance with the comprehensive plan.

Public review of the 1995 CU application focused a great deal of concern with the incompatibility of the use in a commercial zone and because of nearby residential areas. Since that time ETC has shown itself to be a well regulated, good neighbor. The University Area Community Council has submitted a letter in support of the rezoning to PLI and the expanded use.

B. A zoning map amendment may be approved only if it is in the best interest of the public, considering the following factors:

1. The effect of development under the amendment, and the cumulative effect of similar development, on the surrounding neighborhood, the general area and the community; including but not limited to the environment, transportation, public services and facilities, and land use patterns, and the degree to which special limitations will mitigate any adverse effects.

Environment and Land Use Patterns

The Standard is met.

Public water and sewer currently serve ETC. There are no identified creeks or wetlands on the property. The existing uses and developed nature of the area indicate the proposed expansion is compatible with this standard. A

new conditional use application will address specific issues such as parking, traffic, etc.

The current B-3 zoning requires buffer landscaping adjacent to residential districts; arterial landscaping adjacent to collector and arterial streets; and visual enhancement along the west lot line. The PLI zone is less restrictive in terms of landscape requirements. Since the enlargement of the Center could be considered an intensification of use, staff will recommend a condition that strong landscaping requirements be kept in place, if the rezoning to PLI is approved.

All uses are subject to AMC Noise and Air Quality ordinances

Transportation

This Standard is met.

The property is served by public transit. The Center currently has legal and physical access from Bragaw Street. The plat allows one common access on Bragaw for tracts G5 and G6 and one common access for tracts G4 and G5 on Tudor (the access is not currently constructed and tract G4 is vacant). Alaska DOT approval and a valid driveway permit are required for direct access to Tudor.

Traffic generation is not expected to change significantly. Specifics will be addressed during the new CU application.

Public Services and Facilities

This Standard is met.

AWWU water mains and sanitary sewer are available to the petition site. There is a sidewalk along Tudor and Bragaw. There is an existing multi use trail and a planned bicycle trail on Tudor. There is an existing multi-use trail on the east side of Bragaw. The rezoning and to PLI and expansion of the ETC will not have a significant impact on public facilities.

Special Limitations

No Special Limitations have been offered by the applicant as the declared purpose of the rezoning is expansion of ETC.

2. The supply of land in the economically relevant area that is in the use district to be applied by the zoning request or in similar use districts, in relationship to the demand for that land.

There is a limited amount of available PLI property in the area. Expansion of ETC at this location rather than moving to another PLI district is more logical. The loss of B-3 property is not significant. There is a large amount of B-3 along Tudor Road in this area.

3. The time when development probably would occur under the amendment, given the availability of public services and facilities, and the relationship of supply to demand found under paragraph 2 above.

Services currently exist. The expansion of ETC would occur sooner rather than later, after the rezoning and CU.

4. The effect of the amendment on the distribution of land uses and residential densities specified in the Comprehensive Plan, and whether the proposed amendment furthers the allocation of uses and residential densities in accordance with the goals and policies of the Plan.

B-3 requires a minimum of 12 dwellings units per acre; there is no minimum requirement in PLI. However, there is no actual change in density because the residential treatment center will remain. The expansion will likely result in a slight population increase as it was unlikely the current B-3 would have a separate residential development. The use is consistent with Anchorage 2020 and with the intent of the PLI district and compatible with surrounding uses.

COMMUNITY AND COMMUNITY COUNCIL COMMENTS

There were a total of 35 public hearing notices mailed. As of May15, 2002 there have been no notices returned as undeliverable, or in opposition or support. The Community Council has supported the rezoning and expansion of ETC by a vote of 11 to 2.

DEPARTMENT RECOMMENDATION:

The Department recommends that the proposed rezoning is in conformance with the Comprehensive Plan and should be approved, subject to the following conditions and special limitations.

1. Landscaping along the north lot line of tract G6 shall be buffer landscaping. Arterial landscaping shall be installed along tract G5 and G6 lot lines adjacent to Bragaw Street and Tudor Road. West lot lines of tracts G5 and G6 shall be planted with visual enhancement landscaping. Landscaping along tract G6 lot lines shall be put in to effect at the time of permit application for tract G6. All other landscape requirements shall be per AMC 21.40.020 PLI.
2. Submit a current as built for tract G5 to Land Use Enforcement and the Planning Department.
3. Estimate the maximum anticipated staffing for tracts G5 and G6 and submit a current parking plan for tract G5.
4. No pole mounted signs permitted.
5. Development of tract G6 will require a Planning and Zoning Commission public hearing to amend the conditional use and site plan.
6. Access via Bragaw Street is preferred; driveway access to Tudor Road requires a valid driveway permit and approval of ADOT-PW and would be via shared driveway with tract G4.
7. A Notice of Zoning Action and the Resolution shall be filed with the State of Alaska District Recorder's office. Proof of such shall be submitted to the Department of Community Planning and Development.

SPECIAL LIMITATIONS

The following uses are allowed:

Principal permitted uses

- a. parks, parkways, greenbelts, land reserves open spaces and related facilities
- b. day care and 24 hour child care facilities
- c. housing for the elderly
- d. offices and centers for family self sufficiency service

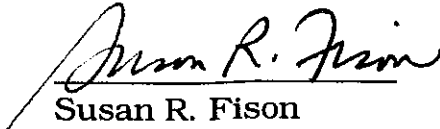
Accessory uses

- a. Uses and structures clearly incidental and customarily accessory to permitted uses and structures.

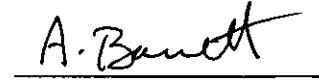
Conditional uses

- a. quasi-institutional uses
- b. health care facilities and health services
- c. Correctional Community Residential Centers (CCRC)

Reviewed by:


Susan R. Fison
Director

Prepared by:

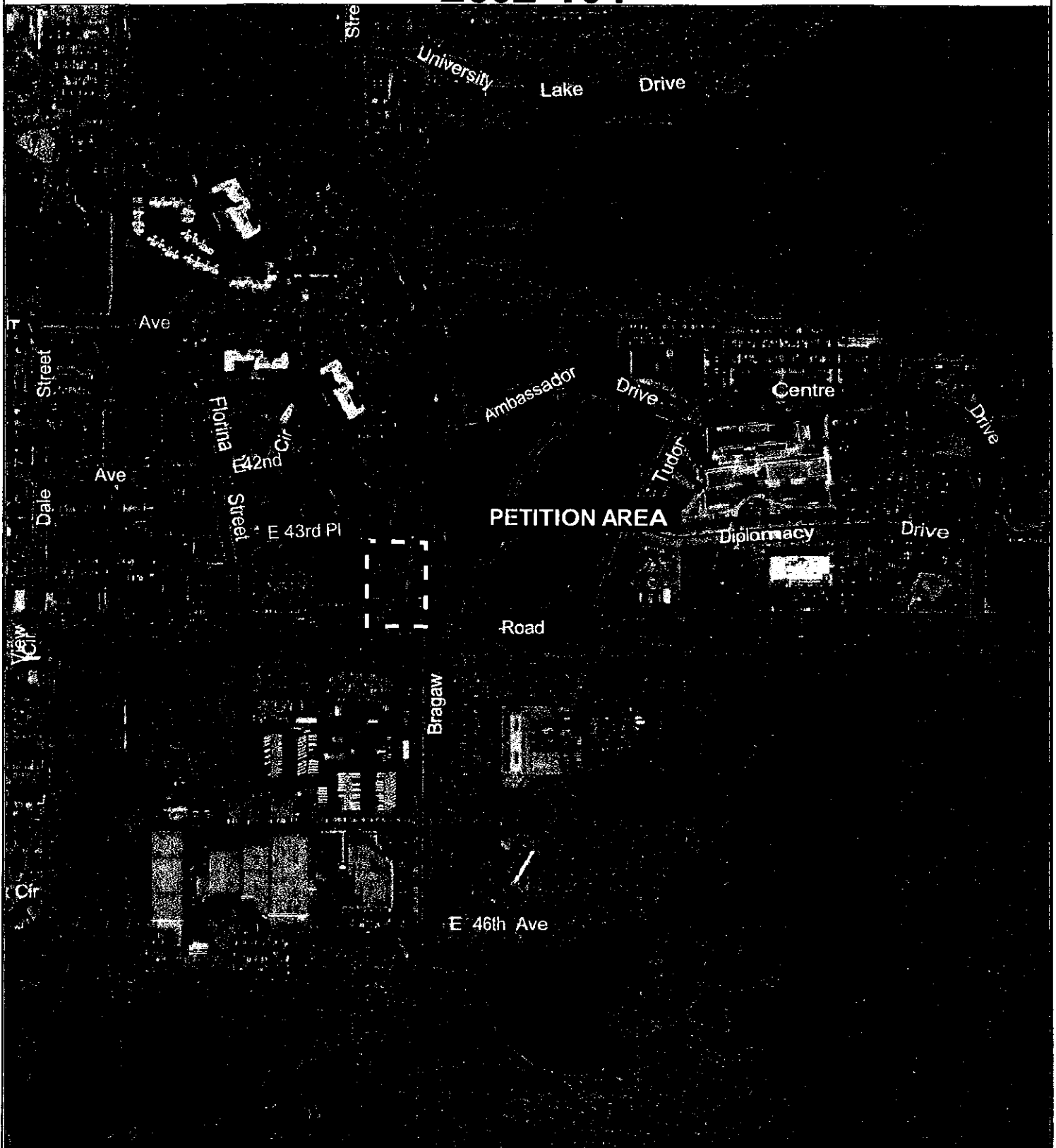

Al Barrett
Senior Planner

(Case No. 2002-104) (Tax Parcel #008-024-05, -06)

2

HISTORICAL MAPS AND AS-BUILTS

REZONING 2002-104



Municipality of Anchorage
Planning Department



Date: APRIL 11, 2002



0 500 1000 Feet

Date of Aerial Photography: 1996

3

DEPARTMENTAL COMMENTS

Case #: 2002-104
Type: Rezone to PLI
Subdivision: Athenian Village, Tracts G5 and G6
Grid: 1735
Tax ID #: 008-024-05, -06
Zoning: B-3
Petitioner: Cook Inlet Tribal Council

PROJECT MANAGEMENT AND ENGINEERING

Recommendations: Project Management and Engineering has no adverse comment regarding this case.

(Reviewer: Gregory Soule)

FLOODPLAIN

Flood Hazard Zone: C

Map: 0241

I have no comments on this case.

(Reviewer: Jack Puff)

LAND USE ENFORCEMENT

Zoning: B-3

The property is subject to the Goose Lake Land Use Plan. Map 16 of the Plan shows the proposed facility is located on land designated "generally suitable for development."

Platting: 83-62, filed March 9, 1983

Lot area and width: AMC 21.40.020.E: "Minimum lot requirements are as follows:

1. Lot width: 100 feet.
2. Lot area: 15,000 square feet."

The lots meet the minimum area and width requirements.

Minimum lot dimensions: The lots meet the width, depth, and width-to-depth ratio requirements of AMC 21.80.300.

OS&HP setbacks: Bragaw Street is a class II minor arterial. AMC 21.45.140 requires a 40 foot from centerline development setback in addition to the zoning district setback. The plat shows 30 feet from centerline dedication. A 10 foot development setback is required, in addition to the front yard setback.

The property is also heavily impacted by utility easements.

Yard requirements: AMC 21.40.020.F: "Minimum yard requirements are as follows:

1. Front yard: ... equal to the minimum front yard requirement in the district abutting the front yard.
2. Side yard: A minimum of 25 feet or not less than the side yard of the abutting use district, whichever is the greater when the abutting district is PLI or residential, otherwise equal to the minimum side yard requirement in the district abutting the side yard.
3. Rear yard: ... equal to the minimum rear yard requirement in the district abutting the rear yard."

Submit an as-built survey to Land Use Enforcement to verify compliance with yard setbacks.

Lot coverage: AMC 21.40.020.G: "Maximum lot coverage by all buildings is 30 percent or the lot coverage requirement of the adjacent use district, whichever is less."

Separation between buildings: AMC 21.45.030 requires ten feet of separation between principal and detached accessory buildings.

Clear vision area: Clear vision areas do not apply to this property.

Legal nonconformities: None have been established with Land Use Enforcement.

Enforcement actions: No land use cases are listed in CETS.

Use determination: Property tax records indicate a 14,308 square foot nursing home built in 1996 on Tract G5. Tract G6 is shown as vacant land. The quasi-institutional house/correctional community residential center on Tract G5 is a conditional use in the B-3 district under AMC 21.40.180.D.7 and .11. These are also conditional uses in the PLI district under AMC 21.40.020.D.6 and .19.

Building height: AMC 21.40.020.H: "Maximum height of structures is unrestricted except as follows:

1. Where buildings exceed 35 feet in height adjacent to a residential use or district, the minimum yard requirement established by subsection F of this section shall be increased one foot for each 1.5 feet in height exceeding 35 feet. This provision shall only apply to the yard adjacent to the residential use district. More restrictive height limits may be imposed by the planning and zoning commission for uses under subsections B and D of this section.
2. Structures shall not interfere with Federal Aviation Administration regulations on airport approaches."

The property is not within any established Airport Height Zone.

Off-street parking: AMC 21.50.035.F: "A center shall provide one off-street parking space per each full-time staff member, based on the maximum anticipated staffing."

AMC 21.85.020.E: "The platting authority shall place a subdivision within the PLI zoning district in the improvement area that it finds to be most compatible with the proposed use of the parcel and the zoning district classifications of the surrounding area." Land Use Enforcement has no record of the platting authority's action, and cannot determine the requirements of AMC 21.45.080.W.7.

AMC 21.45.080.W.8 requires accessible parking for "commercial, industrial, public and institutional uses."

Submit the maximum anticipated staffing and a parking plan to Land Use Enforcement to verify compliance with AMC 21.45.080.

Off-street loading: Submit a parking plan to Land Use Enforcement to verify compliance with AMC 21.45.090.

Landscaping requirements: AMC 21.40.020.L: "All areas not devoted to buildings, structures, drives, walks, off-street parking facilities, usable yard area or other authorized installations shall be planted with visual enhancement landscaping. The landscaping shall be maintained by the property owner or his designee."

AMC 21.45.080.W.4.f requires refuse containers located within or on the same pavement as the parking area to be screened by a wall, fence or landscaping constructed in accordance with criteria established by the refuse collection agency.

AMC 21.45.080.W.6: "The perimeter of a parking area ... adjoining a lot in a residential district shall utilize the following schedule:

a. Institutional, commercial or industrial uses adjoining a residential district: Buffer landscaping or a screening structure and visual enhancement landscaping."

AMC 21.45.080.W.10: "Landscaping for parking lots with 15 or more spaces.

a. Visual enhancement landscaping shall be planted on the perimeter of the parking area adjoining a lot line or a screening structure shall be placed on the perimeter of the parking area adjoining a lot line and an area equal to at least five percent of the surface of the parking area including appurtenant driveways shall be devoted to visual enhancement landscaping

b. The parking area shall be separated from any building on the same lot by a sidewalk or landscaped area, or both, at least four feet wide."

Landscaping requirements will be addressed during the building permit process when the property is developed.

Subdivision landscaping: No landscaping is required by the plat of record.

Fences: AMC 21.45.110.A: "A fence may be constructed at the lot line"

Signs: All signs shall conform to the requirements of AMC 21.45.160.F:

Principal Permitted Use or Use District	Max. Sign Viewing Area (square feet)	Front Yard Setback (feet)	Side Yard Setback (feet)	Rear Yard Setback (feet)	Number of Signs per Principal Use	Flashing or Animated Signs	Roof Signs	Wall Signs	Projecting Signs	Pole or Free- standing Signs	Max. Sign Height, Free- standing (feet)	Illum- inated or Lighted Signs
PLI	Unlimited	25	10	15	Unlimited	No	No	Yes	No	Yes	15	Yes

Access: Tudor Road and Bragaw Street abut the properties. Access to them would satisfy the requirements of AMC 21.45.040.

Plat note 2 restricts access to Bragaw Street to one common driveway.

Plat note 3 restricts access to Tudor Road to one common driveway with Tract G4.

Stream protection setbacks: The property does not adjoin any stream protected by AMC 21.45.210.

Wetlands: Map 33 shows the property as uplands.

Seismic hazard: The property is within seismic zone 2 (low ground failure susceptibility.)

Storm drainage: AMC 21.45.230: "Prior to the issuance of a building or land use permit, the applicant shall provide a site drainage plan for the area affected by the application, including an appropriate drainage outfall for surface water and roof drainage. The drainage plan shall also indicate effects if any, on adjacent properties."

Recommendations: If approval of this case is granted, Land Use Enforcement recommends the following:

1. Bragaw Street is a class II minor arterial. AMC 21.45.140 requires a 40 foot from centerline development setback in addition to the zoning district setback. The plat shows 30 feet from centerline dedication. A 10 foot development setback is required, in addition to the front yard setback.
2. Submit an as-built survey to Land Use Enforcement to verify compliance with yard setbacks.
3. Submit the maximum anticipated staffing and a parking plan to Land Use Enforcement to verify compliance with AMC 21.45.080.
4. Submit a parking plan to Land Use Enforcement to verify compliance with AMC 21.45.090.

(Reviewer: Don Dolenc)

RIGHT-OF-WAY

We have no comment at this time.

(Reviewer: Lynn McGee)

ADDRESSING

I have no comments on this case.

(Reviewer: Kristiann Rützler)

BUILDING SAFETY PLAN REVIEW AND INSPECTION

I have no comments on this case.

(Reviewer: James Gray, P.E.)

NPDES STORM WATER REVIEW

Storm Water Treatment Plan Review has no adverse comments regarding this case.

(Reviewer: Gregory Soule)

Department position: If approval of this case is granted, Development Services recommends the following:

1. Bragaw Street is a class II minor arterial. AMC 21.45.140 requires a 40 foot from centerline development setback in addition to the zoning district setback. The plat shows 30 feet from centerline dedication. A 10 foot development setback is required, in addition to the front yard setback.
2. Submit an as-built survey to Land Use Enforcement to verify compliance with yard setbacks.
3. Submit parking calculations and a parking plan to Land Use Enforcement to verify compliance with AMC 21.45.080.
4. Submit a parking plan to Land Use Enforcement to verify compliance with AMC 21.45.090.

RECEIVED

MAY 16 2002

MUNICIPALITY OF ANCHORAGE
PLANNING & ZONING DIVISION

Municipality of Anchorage

MEMORANDUM

DATE: May 10, 2002

TO: Jerry Weaver, Division Manager, Zoning and Platting Division

THRU: *IN* Tom P. Nelson, Supervisor, Physical Planning Division

FROM: *[Signature]* Wade Tobish, Senior Planner, Physical Planning

SUBJECT: June 2002, Planning and Zoning Commission Case Review Comments

The Physical Planning Division offers the following comments on cases scheduled for the June 2, 2002 Planning and Zoning Commission meeting:

Physical Planning has no comments on the following cases:

Case No. 2002-100 Site Plan Review for Emergency Operations Center
Case No. 2002-101 Anchorage 2020 Plan Amendment
Case No. 2002-104 Rezone B-3 to PLI
Case No. 2002-110 Code Amendments @ Title 14, 21, 23 and 24 for certain dedications

Case No. 2002-103 Site Plan Review for a Biomedical Center at the University of Alaska

The proposed site is located in an area designated generally unsuitable for development in the 1983 *Goose Lake Plan*. The same area is designated for Preservation Open Space in the *Draft Universities & Medical District Framework Master Plan*. (The U-Med plan will supercede the *Goose Lake Plan* when it is adopted.) However, a land exchange agreement between the University and the Municipality in 1988 provided the University with the subject property and included conditions for development. The land exchange agreement was approved by the Assembly and represents a de facto amendment to the *Goose Lake Plan*. It is unclear why the draft U-Med plan does not recognize this, but the draft will be changed.

Conditions and site design issues relating to the existing and new bike trails, and buffers along University Drive and Goose Lake Subdivision should be required. The conditions relating to building design are otherwise being addressed by UDC and PZC landscape and site plan review,

**Municipality Of Anchorage
ANCHORAGE WATER & WASTEWATER UTILITY**

M E M O R A N D U M

DATE: April 24, 2002

TO: Zoning and Platting Division, DCPD

FROM: Hallie Stewart, Engineering Technician *H Stewart*

RECEIVED

APR 26 2002

COMMUNITY PLANNING
AND DEVELOPMENT

SUBJECT: Planning and Zoning Commission Public hearing of June 3, 2002
AGENCY COMMENTS DUE May 24, 2002

AWWU has reviewed the materials received April 15, 2002, and has the following comments.

02-100 Kruse Industrial, Block 2, Lot 1A (site plan review) Grid 2431

1. AWWU water mains are located within the King Street and East 94th Court rights-of-way and within the easement located on-property.
2. AWWU sanitary sewer mains are located within the East 94th Court right-of-way, within the King Street right-of-way south of East 94th Court and within the easement located on-property.
3. AWWU has no objection to the proposed site plan for an emergency operations center.

02-101 Plan Amendment to amend Anchorage 2020

1. AWWU has no objection to the proposed amendment to the Anchorage Bowl 2020 Comprehensive Plan to incorporate changes to account for Public Safety issues within the Plan.

02-103 Goose Lake Land Exchange, Tract 1 (site plan review) Grid 1635

1. Plan review and approval for water and sanitary sewer availability must be reviewed and approved by AWWU prior to any construction.

02-104 Athenian Village, Tract G5 & G6 (rezone) Grid 1735

1. AWWU water and sanitary sewer are available to the referenced tracts.
2. AWWU has no objection to the proposed rezone.

If you have any questions, please call me at 343-8009 or the AWWU Planning Section at 564-2739.



MUNICIPALITY OF ANCHORAGE

Development Services Department
Building Safety Division

RECEIVED

MAY 07 2002

MUNICIPALITY OF ANCHORAGE
PLANNING & ZONING



MEMORANDUM

DATE: May 7, 2002
TO: Jerry T. Weaver, Jr., Platting Officer, CPD
FROM: James Cross, PE, Program Manager, On-Site Water & Wastewater
SUBJECT: Comments on Cases due May 6, 2002

The On-Site Water & Wastewater Program has reviewed the following cases and has these comments:

2002 - 100 A site plan review for an emergency operations center.

No objections.

2002 - 101 Plan amendment to amend Anchorage 2020.

No objections.

2002 - 103 Site plan review for a biomedical health center.

No objections.

2002 - 104 Rezoning to PLI Public Lands and Institutions district.

No objections.

2002 - 110 An ordinance amending Title 21.

No objections.

Pierce, Eileen A

RECEIVED

MAY 08 2002

MUNICIPALITY OF ANCHORAGE
PLANNING & ZONING DIVISION

From: Spring, Jon R.
Sent: Wednesday, May 08, 2002 3:13 PM
To: Barrett, Al W. (Zoning); Autor, Mary P.;
Chambers, Angela C.; Pierce, Eileen A;
Klunder, Tana G.; Weaver, Jerry T.
Subject: Revised Transportation Planning
Comments on 05-06-02 PZC Cases

Memorandum

**Municipality of Anchorage
Department of Community Planning & Development
Transportation Planning Section**

DATE: May 6, 2002
TO: Planning and Zoning Commission
FROM: Jon R. Spring, Senior Transportation Planner
RE: Comments on 6-03-02 Planning & Zoning Commission Cases

Case No. 2002-104

No comment.

Case No. 2002-110

The Traffic Department strongly supports this ordinance. The ordinance will provide the Traffic Department with the ability to secure needed road and sidewalk improvements in conjunction with new condominium development where it is currently unable to do so.

The Traffic Department is submitting the following general and specific comments:

General Comments

Both Municipal Engineer and Municipal Traffic Engineer should be in small letters. Otherwise it might remove the flexibility of the Municipal Engineer and Municipal Traffic Engineer to delegate responsibility for completing these tasks. (Note: Lower case letters are used in section 24.20.030.)

There are several areas within the ordinance where it may be advantageous for the municipal engineer and the traffic engineer to have joint authority. For example, in section 24.20.025(C) the 5 items which can be considered in determining whether the required improvements are reasonably related to the anticipate impacts.



**MUNICIPAL LIGHT & POWER
ENGINEERING
MEMORANDUM**

RECEIVED

APR 19 2002

**MUNICIPALITY OF ANCHORAGE
PLANNING & ZONING DIVISION**

DATE: April 18, 2002
TO: Eileen Pierce, Planning Department
FROM: Kim Irwin, Acting Assistant to the Chief Engineer *Kim Irwin*
SUBJECT: Case 2002-100, 2002-101, 2002-103 AND 2002-104

ML&P has reviewed the following case and has no comments.

Case #	Description
2002-100	Site plan review for an emergency operation (AWWU)
2002-101	An amendment to the Anchorage Bowl 2020 Comprehensive Plan
2002-102	Site plan review for a biomedical health center
2002-104	Rezoning to PLI Public lands & intuitions district

STATE OF ALASKA

DEPARTMENT OF TRANSPORTATION AND PUBLIC FACILITIES

CENTRAL REGION - PLANNING

TONY KNOWLES, GOVERNOR

4111 AVIATION AVENUE
P.O. BOX 196900
ANCHORAGE, ALASKA 99519-6900
(TDD 269-0473) (TDD 269-0521)
(907) 269-0520 (907) 269-0521

APR 22 2002

RECEIVED
MUNICIPALITY OF ANCHORAGE
PLANNING & ZONING DIVISION

April 17, 2002

RE: MOA Zoning Comments

Mr. Jerry Weaver, Platting Officer
Department of Development & Planning
Municipality of Anchorage
P.O. Box 196650
Anchorage, Alaska 99519-6650

Dear Mr. Weaver:

The Department of Transportation and Public Facilities (ADOT&PF) reviewed the following zoning cases and has no comment:

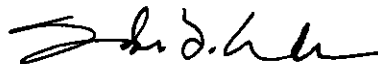
2002-100 Site Plan: an emergency operations center
2002-103 Site Plan: review biomedical health center

Comments:

2002-104 Rezoning: public lands & institutions district: The Department limits access to existing the existing driveway on Bragaw.

Thank you for the opportunity to comment on these zoning cases. If you have any questions, please contact me at 269-0522.

Sincerely,



Sandra L. Cook
Anchorage Area Planner

cc: Scott Thomas, P.E., Regional Traffic Engineer
Sheryl Platz, Right-of-Way Agent

Barrett, Al W. (Zoning)

From: Sandra Cook [sandra_cook@dot.state.ak.us]
Sent: Wednesday, May 15, 2002 5:09 PM
To: Barrett, Al W. (Zoning)
Subject: Re: rezoning case 2002-104

If we didn't request it—maybe we should request another plat note that says

"Access to Tudor Road requires ADOT & PF approval and a current valid driveway permit." Bragaw access is preferred, but thinking about the future—then the plat note will more thoroughly cover our requirements for access. This is an official request.

"Barrett, Al W. (Zoning)" wrote:

What I was getting at is that the plat was done in '83. There is no access easement shown on the plat but one of the notes allows a common access with lot G4 to Tudor. Because this goes back to '83 do they have grandfather rights; or have they ever applied for a driveway permit on Tudor? (I gather they have never applied)

We will recommend all access be from Bragaw, but I'm thinking about future development, especially when lot G4 develops. Thanks al

-----Original Message-----

From: Sandra Cook [SMTP:sandra_cook@dot.state.ak.us]
Sent: Tuesday, May 14, 2002 5:04 PM
To: Barrett, Al W. (Zoning)
Cc: scott_thomas@dot.state.ak.us; sheryl_platz@dot.state.ak.us
Subject: Re: rezoning case 2002-104

In order to have access to a state road the applicant must get ADOT & PF approval and have a current valid driveway permit. Even if the plat allows shared access, they need ADOT & PF approval and the driveway permit. We encourage access to collector streets first instead of directly to arterials. We also encourage shared access on our arterials. Does this answer your question?

"Barrett, Al W. (Zoning)" wrote:

Re: your comments for Ernie Turner Center (tracts G5 & G6) at Bragaw and Tudor. They have a shared access on Bragaw for tracts G5 & G6. But the plat allows G5 and G4 to share an access on Tudor. I don't think it is in use or constructed. Have they lost that access? Thanks. Al Barrett
Platting &
Zoning

RECEIVED

APR 15 2002

**MUNICIPALITY OF ANCHORAGE
PLANNING & ZONING DIVISION**

Pierce, Eileen A

From: Staff, Alton R.
Sent: Saturday, April 13, 2002 3:26 PM
To: Ayres, Patty R.; Pierce, Eileen A
Cc: Taylor, Gary A.
Subject: Zoning Cases

Case No. 2002-103 Pedestrians will be walking from this site to the bus stops on UAA Drive south of Scoter Dr.
Thank you for including pedestrian access to Scoter.

Public Transportation has no comment on the following zoning cases:

2002-099
2002-100
2002-101
2002-104

Thank you for the opportunity to review.

Alton R. Staff, Operations Supervisor
Public Transportation Department, People Mover
3650-A E. Tudor Road
Anchorage, 99507



Municipality of Anchorage

Department of Health and Human Services

Division of Environmental Services

Air Quality Program

P.O. Box 196650 Anchorage, Alaska 99519-6650

<http://www.ci.anchorage.ak.us>



Gec P. W. J. Taylor

RECEIVED

APR 12 2002

COMMUNITY PLANNING
AND DEVELOPMENT

DATE: 4/12/02
TO: Jerry Weaver, Platting & Zoning, fax 4220
THROUGH: Steve Morris, P.E., Program Manager
FROM: Larry Taylor, QEP, Environmental Engineer
SUBJECT: Comments

RECEIVED
APR 15 2002
MUNICIPALITY OF ANCHORAGE
PLANNING & ZONING DIVISION

CASE NO. 2002-100:	No Objection
CASE NO. 2002-101:	No Objection
CASE NO. 2002-104:	No Objection
CASE NO. 2002-092:	No Objection
CASE NO. 2002-083:	No Objection
CASE NO. 2002-084:	No Objection
CASE NO. 2002-088:	No Objection
CASE NO. 2002-087:	No Objection
CASE NO. 2002-085:	No Objection



MUNICIPALITY OF ANCHORAGE

Department of Health and Human Services
Environmental Services Division

LURA J. MORGAN PhD, REHS

Division Manager

825 "L" Street

Mail: P.O. Box 196650

Anchorage, Alaska 99519-6650

Telephone (907) 343-4065

Fax (907) 343-4786

Email: MorganLJ@ci.anchorage.ak.us

4-12
Jerry,
Case materials have been reviewed by
Larry Taylor and were apparently pending before our
agreement that all materials will be sent to me. Thanks
for your help in assisting us in our efforts to
coordinate comments.
As comments are
due today - am
forwarding in
Larry's absence.
36/Beh.

Municipality of Anchorage
P. O. Box 196650
Anchorage, Alaska 99519-6650
(907) 343-4215

MAY 09 2002

000-000-00-000

FIRST CLASS MAIL

35
PHN
MAILED

NOTICE OF PUBLIC HEARING - - Monday, June 03, 2002

Planning Dept Case Number: 2002-104

The Municipality of Anchorage Planning and Zoning Commission will consider the following:

CASE: 2002-104
PETITIONER: Cook Inlet Housing
REQUEST: Rezoning to PLI Public lands & institutions district
TOTAL AREA: 1.78 acres
SITE ADDRESS: 4330 BRAGAW ST
CURRENT ZONE: B-3 General business district
COM COUNCIL: University Area **COM COUNCIL 2:**
LEGAL/DETAILS: A request to rezone approximately 1.78 acres from B-3 (General Business) to PLI (Public Lands & Institutions). Athenian Village Subdivision, Tracts G5 and G6. Located at 4330 Bragaw Street.

The Planning and Zoning Commission will hold a public hearing on the above matter at 6:30 p.m., Monday, June 03, 2002 in the Assembly Hall of the Z. J. Loussac Library, 3600 Denali Street, Anchorage, Alaska.

The Zoning Ordinance requires that you be sent notice because your property is within the vicinity of the petition area. This will be the only public hearing before the Commission and you are invited to attend and present testimony, if you so desire.

If you would like to comment on the petition this form may be used for your convenience. Mailing Address: Municipality of Anchorage, Department of Planning, P.O. Box 196650, Anchorage, Alaska 99519-6650. For more information call 343-4215; FAX 343-4220. Case information may be viewed at www.muni.org by selecting Zoning and Platting On-line Notification.

Name: _____
Address: _____
Legal Description: _____
Comments: _____

University Area Community Council

Department of Planning and Zoning
Zoning and Platting Division
PO Box 19660
Anchorage, AK 99519-6650

RECEIVED
MAY 01 2002
MUNICIPALITY OF ANCHORAGE
PLANNING & ZONING DIVISION

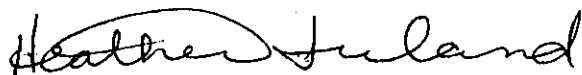
Dear Planning and Zoning Commission:

Representatives from The Ernie Turner Center attended the April meeting of The University Area Community Council (UACC). At this meeting they presented their intent to file a petition to change their zoning status from B-3 to PLI for both their current lot and the adjacent lot owned by CIRI.

The zoning change would enable The Ernie Turner Center to treat the underserved group of repeat DWI offenders. Therefore, the UACC passed a motion to support this zoning change by a vote of 11 to 2. We appreciate the Center's efforts to work with the UACC and address any questions and concerns.

Thank you.

Sincerely,



Heather Ireland
UACC Secretary

CC: Ernie Turner Center
4330 Bragaw Street
Anchorage AK 99508

4

APPLICATION



Municipality of Anchorage
Department of Community Planning and Development
P.O. Box 196650
Anchorage, Alaska 99519-6650
ZONING MAP AMENDMENT APPLICATION

OFFICE USE	
REC'D By:	<u>RC</u>
Verify Own:	<u>RC</u>
Poster and Affidavit:	<u>RC</u>
Fee \$	<u>4,125</u>
Tentative	
Hearing Date	<u>6/13/02</u>

Case Number: 2002-104

Zoning map amendments require at a minimum 1.75 acres of land or a boundary common to the requested zoning district. The application must also be signed by 51% of the property owners within the area to be rezoned.

A. Please fill in the information requested below. Print one letter or number per block.

1. Petitioning for:

P U B L I C L A N D S I N S T I T U T I O N S

2. Abbreviated legal description (T12N R2W SEC 2 LOT 45 or SHORT SUB BLK 3 LOT 34) Full legal on back Page.

T R A C T S G 5 & G 6, A T H E N I A N V I L L A G E

3. Street address of petition site (1234 Main Street).

4 3 3 0 B R A G A W S T R E E T

4. Petitioner's Name (Last - First)

C O O K I N L E T T R I B A L C O U N C I L I N C.

Address: 670 W. Fireweed Lane, Suite 200

City: Anchorage State: Alaska

Day Phone Number: 265-5900 Zip: 99503

5. Petitioner's representative

D O W L E N G I N E E R S

Address: 4040 B Street

City: Anchorage State: Alaska

Day Phone Number: 562-2000 Zip: 99503

6. Current Zoning:

B - 3

7. Petition Acreage:

1 . 7 8

8. Grid Number:

0 0 1 7 3 5

9. Principal Tax Number:

0 0 8 0 2 4 0 5 & 00802406

10. No. of Tax Parcels:

2

11. Community Council: University Area

B. I hereby certify that (I am)(I have been authorized to act for) owner of the property described above and that I desire to rezone it in conformance with Title 21 of the Anchorage Municipal, Code of Ordinances. I understand that payment of the rezoning application fee is nonrefundable and is to cover the costs associated with processing this applications, and that it does not assure approval of the rezoning. I also understand that assigned hearing dates are tentative and may have to be postponed by Planning Department Staff or the Planning and Zoning Commission or the Assembly due to administrative reasons.

Date: 4-08-02

Signature:

[Signature]

Agents must provide written proof of authorization

2019 04-09 02:09:57 CHECK 1-125.00

C. Please check or fill in the following

1. Comprehensive Plan -- Land Use Classification

- | | | |
|---|--|---|
| <input type="checkbox"/> Alpine/Slope Affected | <input type="checkbox"/> Marginal Land | <input type="checkbox"/> Residential |
| <input type="checkbox"/> Commercial | <input type="checkbox"/> Parks/Open Space | <input type="checkbox"/> Special Study |
| <input checked="" type="checkbox"/> Commercial/Industrial | <input type="checkbox"/> Public Lands Institutions | <input type="checkbox"/> Transportation Related |
| <input type="checkbox"/> Industrial | | |

2. Comprehensive Plan Residential Land Use Intensity

- | | | |
|--|--|--|
| <input type="checkbox"/> Dwelling units per acre | <input type="checkbox"/> Alpine/Slope Affected | <input type="checkbox"/> Special Study |
|--|--|--|

3. Environmental Factors (if any):

- | | |
|---------------------------------------|---|
| <input type="checkbox"/> a. Wetlands | <input type="checkbox"/> b. Avalanche |
| <input type="checkbox"/> Development | <input type="checkbox"/> c. Floodplain |
| <input type="checkbox"/> Conservation | <input type="checkbox"/> d. Seismic Zone (Harding/Larson) |
| <input type="checkbox"/> Preservation | |

D. Please indicate below if any of these events have occurred in the last three years on the property

- | | | |
|---|---------------|-------|
| <input type="checkbox"/> Rezoning | Case Number | _____ |
| <input type="checkbox"/> Subdivision action | Case Number | _____ |
| <input type="checkbox"/> Conditional use | Case Number | _____ |
| <input type="checkbox"/> Zoning Variance | Case Number | _____ |
| <input type="checkbox"/> Site plan review | Case Number | _____ |
| <input type="checkbox"/> Enforcement action | Case Number | _____ |
| <input type="checkbox"/> Building/Land use permit | Permit Number | _____ |

E. Please list any attachments

1. Location map (Mandatory)

2. Vicinity Map

3. _____

4. _____

F. Proposed special limitations: (use separate sheet if necessary).

1. _____

2. _____

3. _____

4. _____

G. The full legal description for legal advertisement (use separate paper if necessary)

Tract G5 and G6, Athenian Village, Subdivision located within the SE $\frac{1}{4}$ of Section 28,
T13N, R3W, S.M., Ak.



Municipality of Anchorage
Department of Community Planning and Development
P.O. Box 196650
Anchorage, Alaska 99519-6650

STANDARDS FOR ZONING MAP AMENDMENTS

The petitioner must provide a written narrative which addresses the following standards. Zoning map amendment applications which do not address these items will be considered invalid and will not be accepted for public hearing by the Department of Community Planning and Development. (Use additional paper if necessary).

A. Conformance to Comprehensive Plan.

1. If the proposed zoning map amendment does not conform to the land use classification map contained in the applicable Comprehensive Plan, explain how the proposed rezoning meets one or more of the following standards:
 - a. The proposed use is compatible because of the diversity of uses within the surrounding neighborhood or general area;
 - b. The proposed use may be made compatible with conforming uses by special limitations or conditions of approval concerning such matters as access, landscaping, screening, design standards and site planning; or
 - c. The proposed use does not conflict with the applicable Comprehensive Development Plan goals and policies.

Please see attachment

2. If the proposed zoning map amendment does not conform to the generalized intensity (density) of the applicable Comprehensive Plan map, explain how the proposed rezoning meets the following standards:

- a. In cases where the proposed rezoning would result in a greater residential intensity (density), explain how the rezoning does not alter the plan for the surrounding neighborhood or general area, utilizing one of the following criteria:

- i. The area is adjacent to a neighborhood shopping center, other major high density mode, or principal transit corridor.
- ii. Development is governed by a Cluster Housing or Planned Unit Development site plan.

Please see attachment

- b. In cases where the proposed rezoning would result in a lesser residential intensity (density), explain how the rezoning would provide a clear and overriding benefit to the surrounding neighborhood.

Please see attachment

- c. Explain how the proposed residential density conforms with the applicable Comprehensive Development Plan goals and policies pertaining to the surrounding neighborhood or the general area.

Please see attachment

- ### B. A zoning map amendment may be approved only if it is in the best interest of the public, considering the following factors:

1. Describe the effect of development under the amendment and the cumulative effect of similar development on (a) the surrounding neighborhood, (b) the general area, and (c) the community with respect to the following (The discussion should include the degree to which proposed special limitations will mitigate any adverse effect.):

a. Environment;

Please see attachment

b. Transportation;

Please see attachment

c. Public Services and Facilities;

Please see attachment

d. Land Use Patterns;

Please see attachment

Note: Surrounding neighborhood = 500 - 1000' radius
General Area = 1 Mile radius
Community = Anchorage as a whole

2. Quantify the amount of undeveloped (vacant) land in the general area having the same zoning or similar zoning requested by this application. Explain why you feel the existing land is not sufficient or is not adequate to meet the need for land in this zoning category?

Please see attachment

3. When would development occur under the processed zoning? Are public services (i.e., water, sewer, street, electric, gas, etc.) available to the petition site? If not, when do you expect that it will be made available and how would this affect your development plans under this rezoning?

Please see attachment

4. If the proposed rezoning alters the use of the property from that which is indicated in the applicable Comprehensive Plan, explain how the loss of land from this use category (i.e., residential, commercial, industrial) might be regained elsewhere in the community?

Please see attachment

STANDARDS FOR ZONING MAP AMENDMENTS

A. Conformance to Comprehensive Plan.

1. If the proposed zoning map amendment does not conform to the land use classification map contained in the applicable Comprehensive Plan, explain how the proposed rezoning meets one or more of the following standards:

- a. The proposed use is compatible because of the diversity of uses within the surrounding neighborhood or general area;

The existing use, Ernie Turner Center, was deemed compatible with the surrounding neighborhood at the time of its development. The neighborhood itself is very diverse and has been designated a Major Employment Center by the 2020 Comprehensive Plan. The area encourages higher density mixed-use development and includes uses such as the utility substation, UAA student housing, a major medical center, police station, animal shelter, and other office and business uses.

- b. The proposed use may be made compatible with conforming uses by special limitations or conditions of approval concerning such matters as access, landscaping, screening, design standards and site planing ;or

Not applicable.

- c. The proposed use does not conflict with the applicable Comprehensive Development Plan and policies.

The current use of the subject property does not conflict with the Comprehensive Development Plan and policies. The site is designated a Major Employment Center on the 2020 Comprehensive Plan Land Use Map, which encourages higher density mixed-use development and includes health care, social services, and medical support service uses within the employment core.

2. If the proposed zoning map amendment does not conform to the generalized intensity (density) of the applicable Comprehensive Plan map, explain how the proposed rezoning meets the following standards:

a. In cases where the proposed rezoning would result in a greater residential intensity (density), explain how the rezoning does not alter the plan for the surrounding neighborhood or general area, utilizing one of the following criteria:

i. The area is adjacent to a neighborhood shopping center, other major high-density mode, or principal transit corridor.

Not applicable.

ii. Development is governed by a Cluster Housing or Planned Unit Development site plan.

Not applicable.

b. In cases where the proposed rezoning would result in a lesser residential intensity (density), explain how the rezoning would provide a clear and overriding benefit to the surrounding neighborhood.

The rezoning of tract G-5 will not result in a lesser residential intensity because this parcel is already developed and will maintain its current use. It is, however, unlikely that vacant tract G-6 will be developed as a residential use. As stated in Policy 23 of the 2020 Comprehensive Plan, residential development is considered to be an ancillary use in areas designated as Major Employment Centers.

c. Explain how the proposed residential density conforms with the applicable Comprehensive Development Plan goals and policies pertaining to the surrounding neighborhood or the general area.

Not applicable.

B. A zoning map amendment may be approved only if it is the best interest of the public, considering the following factors:

1. Describe the effect of development under the amendment and **the cumulative effect** of similar development on (a) the surrounding neighborhood, **(b) the general area**, and (c) the community with respect to the following (The discussion should include the degree to which proposed special limitations will mitigate **any adverse effect.**):

a. Environment;

Because the use of the site is not being altered, changing the zoning of the property from B-3 to PLI will not negatively affect the environment.

b. Transportation;

*Access to tracts G-5 and G-6 is provided directly off of **Bragaw Street** and is restricted, by plat note, to one shared driveway. In addition, tract **G-5** is fully served by public transit on **Bragaw Street** and **Tudor Road**. Changes to the sites are not being proposed as a part of this rezone; therefore transportation will not be impacted.*

c. Public Services and Facilities;

*All public services and facilities are available to the site at this time. This includes sewer, water, electricity and natural gas. The site is located within all relevant Municipal service area's including fire, **police**, **ARDSA** and building safety.*

d. Land Use Patterns

North: R-3, Multi-Family Residential District and PLI, Public Lands and Institutions District.

South: PLI, Public Lands and Institutions District.

East: B-3, General Business District.

West: B-3, General Business District.

Note: Surrounding neighborhood = 500 - 1000' radius
General area = 1 Mile Radius
Community = Anchorage as a whole

2. Quantify the amount of undeveloped (vacant) land in the general area having the same zoning or similar zoning requested by this application. Explain why you feel the existing land is not sufficient or is not adequate to meet the need for land in this zoning category?

There is very little undeveloped or uncommitted PLI land in the general area. What is vacant is either committed to another use or is owned by the Municipality of Anchorage.

3. When would development occur under the processed zoning? Are public services (i.e., water, sewer, street, electric, gas, etc.) available to the petition site? If not, when do you expect that it will be made available and how would this affect your development plans under this rezoning?

Tract G-5 is already developed and being used as the Ernie Turner Center. Under the proposed rezone this use will not change. In addition, there are no plans to develop Tract G-6 at this time. Any future development of this tract would be subject to the MOA site plan approval process.

4. If the proposed rezoning alters the use of the property from that which is indicated in the applicable Comprehensive Plan, explain how the loss of the land from this use category (i.e., residential, commercial, industrial) might be regained elsewhere in the community.

There will be no loss of use with this rezone. As explained earlier, this request is shown as a Major Employment Center in the Anchorage 2020 Comprehensive Plan, which encourages higher density mixed-use development.

DOWL

ENGINEERS®
A Division of DOWL LLC

April 8, 2002
W.O. D57660

Ms. Susan R. Fison, Director
Planning Department
Municipality of Anchorage
P.O. Box 196650
Anchorage, Alaska 99519-6650

Subject: Application to Amend Zoning Map
Ernie Turner Center, TR G-5 and TR G-6, Athenian Village

Dear Ms. Fison:

DOWL Engineers (DOWL), on behalf of the Cook Inlet Housing Development Corporation and the Cook Inlet Region, Inc. (CIRI), respectfully submit the enclosed Zoning Map Amendment application for approval.

The Cook Inlet Housing Development Corporation and CIRI are requesting that Tracts G-5 and G-6 be rezoned from B-3 to PLI. This request is being made because the Cook Inlet Tribal Council (CITC), which operates the Ernie Turner Center on Tract G-5, would like to include third time Driving Under the Influence (DUI) offenders in their alcohol and drug treatment program. In addition, CIRI owns vacant Tract G-6, located directly north of the facility, and would like to include it in the rezone. Below is a description of the Ernie Turner Center and the services that are provided there.

The Ernie Turner Center (ETC) is a 32-bed Correctional Community Residential Center (CCRC) on Tract G-5, Athenian Village Subdivision. The site is located on the northwest corner of Tudor Road and Bragaw Street and is zoned B-3 (General Business District). The ETC is under the umbrella of the Cook Inlet Tribal Council and is run as a separate facility. The facility is a state licensed alcohol and drug program accredited by the Joint Commission of Accreditation of Healthcare Organizations. The goal of the program is to lower the incidence and prevalence of alcohol abuse and alcoholism among Alaskans by providing a highly structured, non-medical intensive residential treatment program.

This strategy, combined with on-going outpatient and aftercare, facilitates the rehabilitation of alcohol and drug addicts in a culturally sensitive environment. It is important to emphasize that while the goal established at the start up of the ETC was to focus on Alaska Natives and American Indians, the facility is a non-discriminatory facility open to all for care. The ETC, which has been at its current location since 1997, provides both residential and outpatient treatment to adults age 18 and above. Referrals to the program come from professionals, employers, physicians, the Division of Family and Youth Services, the Alcohol Safety Action Program (ASAP), and the Alaska Court System. Self-referrals are also accepted. The ETC does not provide detox services to its patients and referrals from medical facilities are only accepted after a patient has completed a medically supervised detox program. In addition, the facility does not accept sex offenders or violent offenders. An extensive pre-intake process examines the criminal and medical records of potential patients and is used to reveal such offenders. Clients admitted to the ETC for Inpatient Care undergo an 8-week program that includes rigorous individual and group counseling, the development of life coping skills and vocational rehabilitation/education. Patients admitted into the Day Treatment Program are at the Center from

7:45 a.m. to 4:30 p.m. on weekdays and in the afternoon on Saturday and Sunday. This option reduces the cost of treatment yet maintains the benefits of a residential program while living at home. In addition to the outpatient and inpatient programs, the facility offers a program known as the Wisdom Place. This program is a nine-bed residential unit designed specifically for both non-native and Alaska Native Elders, 55 years of age and older. It is the first residential treatment program offered to Elders in Alaska and has proven to be very successful.

The ETC is classified under Municipal Code as a CCRC due to the fact that they receive referrals from the Alaska Safety Action Program (ASAP) who administers the Driving Under the Influence of Alcohol program for the State of Alaska Court System. They also maintain two beds for the State of Alaska, Division of Alcohol and Drug Abuse. As stated above, the Cook Inlet Tribal Council would like to expand the program to include a significant population that is not being served, third time Driving Under the Influence (DUI) offenders. This type of conviction classifies the individual as a felon in the Alaska criminal justice system.

The current B-3 zoning only allows the program to serve those considered misdemeanants. In order to achieve their current goal, the site needs to be rezoned from B-3 to Public Lands and Institutions (PLI). This land use change would allow the facility to accept those individuals convicted of a felony, with the primary focus on the third time DUI offender. The program will also continue to maintain its standard of not accepting any patient that is a sex offender or violent offender. In addition, CIRI owns the vacant lot directly to the north, Tract G-6, and is requesting that it be included in the rezone. This would provide for the expansion of the Ernie Turner Center in the future, if and when it is deemed necessary. As defined by Title 21 the Public Lands and Institutions (PLI) zone is "intended to include areas of significant public open space, major public and quasi-public institutional uses and activities and land reserves for which a specific use or activity is not yet identified."

Generally, the ETC is run and is most similar to a Quasi-Institutional program. In addition, zoning extends to the centerline of the adjoining streets so the site is contiguous to PLI zoned property which meets the submittal requirements. Once the rezone is approved, the facility will seek a new conditional use approval to allow for the Correctional Community Residential Center (CCRC) in the PLI zoning district. This step is seen as more of a house keeping issue, therefore, the facility will continue to operate under the existing approval (Case 95-204) until such time as the new conditional use is approved.

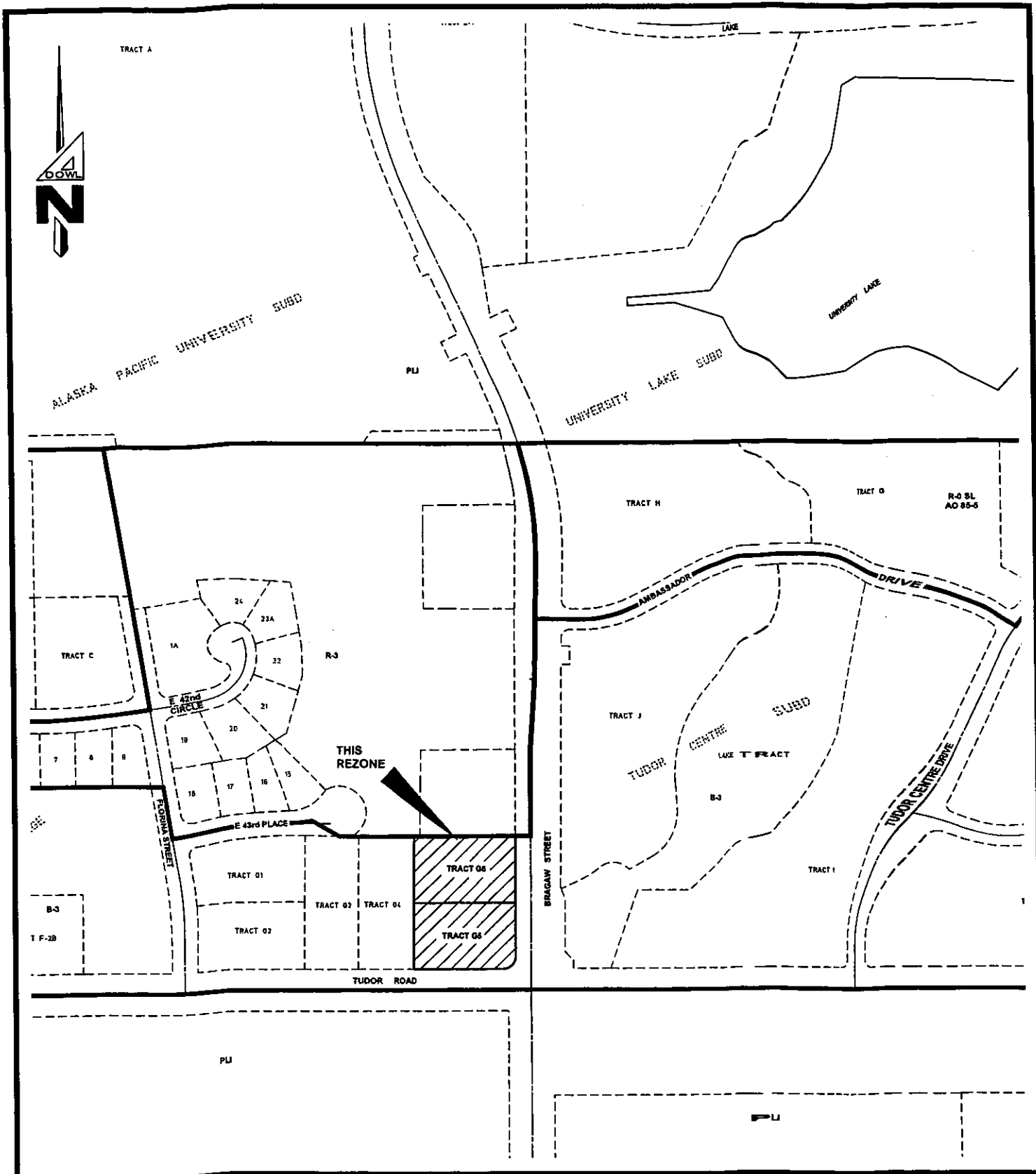
We trust that this provides sufficient information for you to move forward with this request. Please contact me if you have any questions or require additional information.

Sincerely,
DOWL Engineers



Timothy C. Potter
Director of Planning

Enclosure: As stated



SCALE: 1"=500'



CIRI

MAR 26 2002

March 20, 2002

Anchorage Municipal Assembly &
Department of Community Planning & Development
Municipality of Anchorage
P.O. Box 196650
Anchorage, AK 99519-6650

Dear Interested Parties:

This letter serves as Cook Inlet Region, Incorporated's (CIRI's) authorization for DOWL Engineers of Anchorage, Alaska to process a rezone before the Municipality of Anchorage and the Anchorage Municipal Assembly for the property known as Tract G6 of the Athenian Village Subdivision which is owned by CIRI.

If you have any questions, please do not hesitate to contact me.

Sincerely,

Kirk S. McGee
Vice President, Real Estate

5

**POSTING
AFFIDAVIT**

D57660



RECEIVED


MAY 17 2002

MUNICIPALITY OF ANCHORAGE
PLANNING & ZONING DIVISION

AFFIDAVIT OF POSTING

CASE NUMBER: 2002-164

I, CHRIS HARRINGTON hereby certify that I have posted a Notice of Public Hearing as prescribed by Anchorage Municipal Code 21.15.005 on the property that I have petitioned for REZONE. The notice was posted on 13 MAY 02 which is at least 21 days prior to the public hearing on this petition. I acknowledge this Notice(s) must be posted in plain sight and displayed until all public hearings have been completed.

Affirmed and signed this 13 day of MAY, 2002
Signature

LEGAL DESCRIPTION

Tract or Lot TRACT G5 + G6

Block _____

Subdivision Athenian Village

6

HISTORICAL INFORMATION

Reference number : 001268 Reference coment : BZAP - TEXT REFERENCE

Print date : 12/07/99 Date TEXT created: 04/03/92
Requested by : RAK Executed from : BZAP/BZ20
Action number : S-6026A
Action date : 03/09/83 Expiration date : / /
Reference type : PN Description : PLAT NOTES
Reference status : APR Description : RULING APPROVED

- 1 page follows -

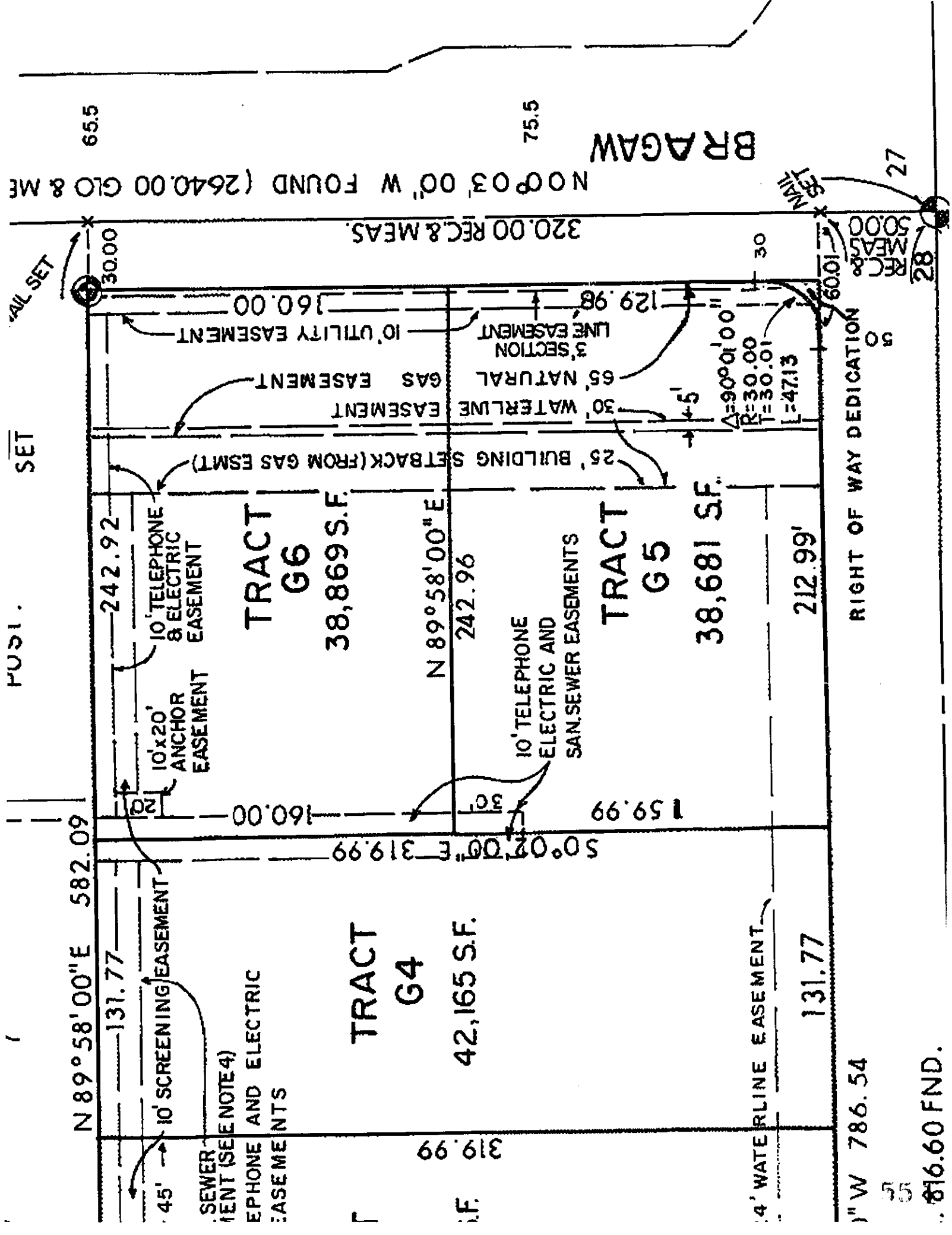
plat: 83-62

date: march 9, 1983

case: s-6206a

legal: athenian village, tracts g1-g6.

Note: 1. Direct vehicular access on e. 43rd avenue is prohibited
2. Direct vehicular access on bragaw street shall be via a
single common driveway for tracts g5 and g6.
3. Direct vehicular access on tudor road shall be via one
common driveway each for tracts g2 and g3 and g4 and g5
4. No building shall be placed within a 5 foot sanitary
sewer easement unless footing foundations are below
elevation 159 msl.



Municipality of Anchorage
MUNICIPAL CLERKS OFFICE
Agenda Document Control Sheet

Ao 2002-106(57)

SUBJECT OF AGENDA DOCUMENT Rezoning of approximately 1.78 acres from B-3 to PLI-SL for Tracts G-5 and G-6, Athenian Village Subdivision (the Ernie Turner Center). University Area Community Council Case 2002-104		DATE PREPARED July 2, 2002 INDICATE DOCUMENTS ATTACHED <input checked="" type="checkbox"/> AO <input type="checkbox"/> AR <input checked="" type="checkbox"/> AM <input type="checkbox"/> AIM	
DEPARTMENT NAME Planning Department		DIRECTOR'S NAME Susan R. Fison, Director	
THE PERSON THE DOCUMENT WAS ACTUALLY PREPARED BY J. Weaver		HIS/HER PHONE NUMBER 343-4215	
	COORDINATED WITH AND REVIEWED BY	INITIALS	DATE
4	Mayor		
	Heritage Land Bank		
	Merrill Field Airport		
	Municipal Light & Power		
	Port of Anchorage		
	Solid waste services		
	Water & wastewater utility		
3/2	Municipal Manager	M	7/12
	Cultural & Recreational Services		
	Employee Relations		
	Finance, Chief Fiscal Officer		
	Fire		
	Health & Human Services		
2/8	Office of Management & Budget	CF	7/11/02
	Management Information Services		
	Police		
2	Planning, Development & Public Works	A. Horn	7.2.02
	Development Services		
	Facility Management		
1	Planning	ph2	7.2.02
	Project Management & Engineering		
	Street Maintenance		
	Traffic		
	Public Transportation Department		
	Purchasing		
3/1	Municipal Attorney	W	7-5-02
5	Municipal Clerk		
	Other		
SPECIAL INSTRUCTIONS/COMMENT Assembly member Traini introduced the AO "by title" at the 6/25/02 Assembly meeting for the July 16 Public Hearing. <div style="text-align: center;"> <i>addendum - New Public Hearing</i> <i>14.D.1.</i> </div>			
ASSEMBLY MEETING DATE REQUESTED <div style="text-align: center; font-size: 24px; font-weight: bold;">7</div>		PUBLIC HEARING DATE REQUESTED 7/16/02	

00-002(10/00)

JUL 12 PM 2:57
 M.D.A.